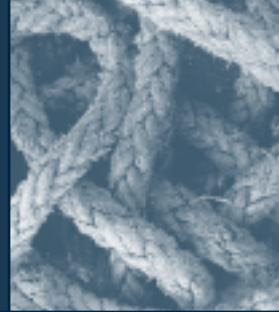
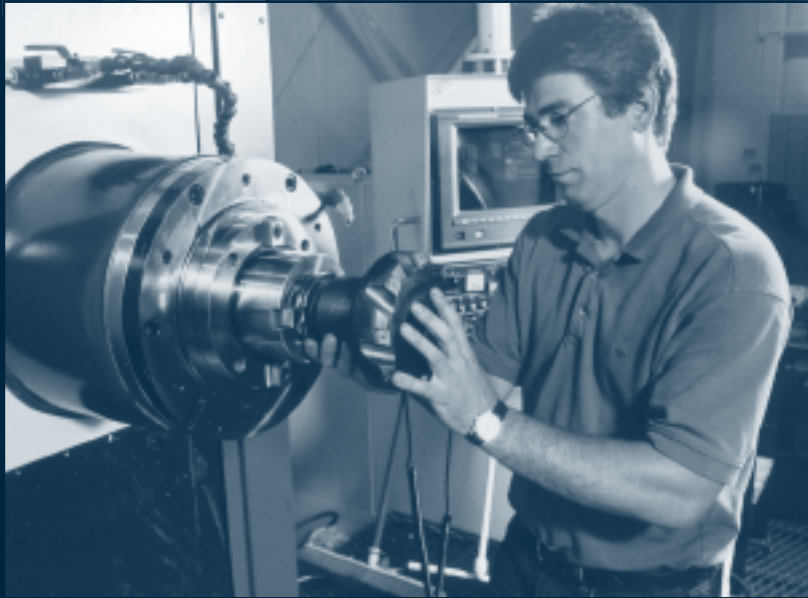


CLOSER TO PROFITS



**Conceptual
Manufacturing
Facility Options**



TWO RIVERS
WISCONSIN



Two Rivers Wisconsin **We bring you closer to profits**

For most owners of growing businesses, expansion is a task to be endured. Building a new facility, renting an additional site or modifying the existing site is a time-consuming and sometimes difficult job. The Two Rivers development team would like to remove a few of the “headaches” for you and make the process as simple as possible.

Two Rivers produced this compilation of conceptual building options common in our city’s industrial parks. This document includes floor plans, elevations and costs for the construction of conventional and modified pre-engineered buildings.

Whatever your needs, we can help you – quickly, easily and at a price you can afford.

For More Information Contact

Dan Pawlitzke
Economic Development Supervisor
City of Two Rivers
1717 East Park Street
P.O. Box 87
Two Rivers, WI 54241-0087

Phone (920) 793-5565
Fax (920) 793-5563
E-mail danpaw@two-rivers.org

The enclosed plans are based on:

- Typical manufacturing layout;
- Ease of warehousing;
- Versatility in layout; and energy efficiency.

Estimated costs listed here include:

- Site work
- Concrete
- Masonry
- Steel and metal
- Carpentry
- Roofing, thermal and moisture protection
- Doors and windows
- Specialties
- Two truck-height loading docks and equipment
- Plumbing
- HVAC
- Fire protection
- Electrical

Case Study I WG&R BEDDING

“Two Rivers was the most aggressive community we contacted. Their building and financing knowledge, commitment and desire to assist us were major factors in our location decision. When we were ready to make our decision, Two Rivers was there as our partner.”

– Ron Vanden Heuvel, W G & R Bedding



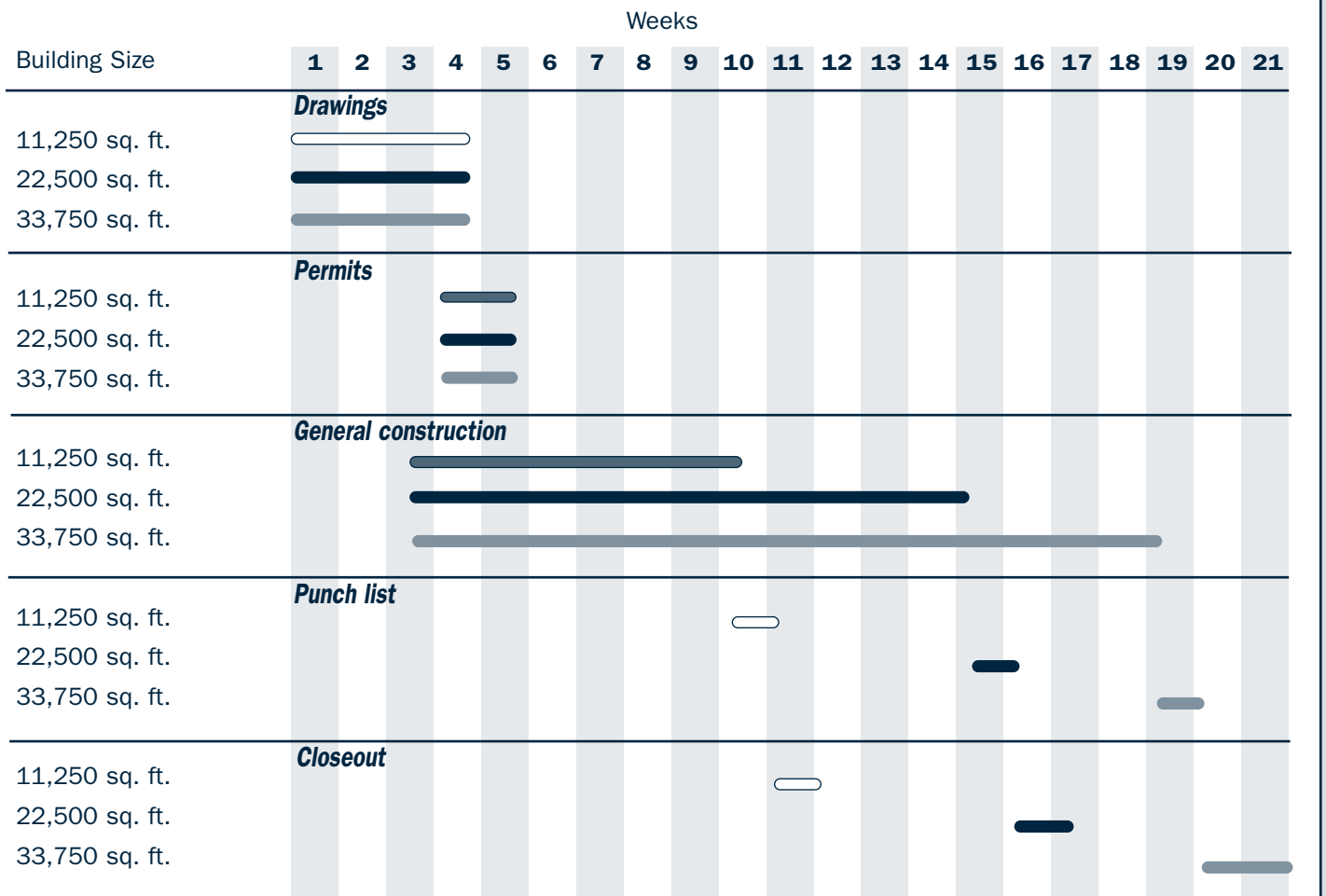


**Case Study II
BROWNS, INC.**

“We needed more permanent space very quickly. The Two Rivers development team put us on the 'fast track' and we started construction in spring and moved in by fall.”

- Kent Langman, General Manager, Brown's of Two Rivers

Fast-Track Schedule



If you are in a hurry, we can help you. The chart above outlines several possible “fast track” schedules. There is a schedule for the upgraded pre-engineered and conventional buildings at all three spec sizes: 11,250 square feet, 22,500 square feet and 33,750 square feet.

- An 11,250-square-foot facility would take approximately 12 weeks from preliminary drawings through the closeout.
- A 22,500-square-foot facility would take approximately 17 weeks.
- A 33,750-square-foot facility would take 21 weeks to complete.

For information about development opportunities and other financing options, contact Dan Pawlitzke, Economic Development Supervisor, at 920-793-5565.

Description of A Proposed Manufacturing Facility

This brochure was developed to assist you in estimating the various costs and time involved in construction. We understand time is money and hope this information is helpful.

General Construction Conditions:

Supervision, clean-up, dumpster, layout, transportation of equipment, architectural fees, state approval fees, local building permit fees, equipment rental and temporary toilets.

Sitework: Strip topsoil as required for construction, cut and fill to bring lot to required elevations, install 12" sand under slab on grade and sidewalks, install 6" breaker run and 6" gravel under parking lots and drives, spread salvaged topsoil after construction and hydroseed area for grass. Budget cost is for a lot with a standard topography that is level with the curb. Shrubbery allowance of \$1,800 is also included.

Asphalt: 3" asphalt with striping per industrial park site plans.

Concrete: All building options to have sealed 6" slab on grade with wire mesh, two dock leveler pits, concrete foundation wall at dock area (50' long x 8" high x 8" thick), and an exterior slab at dock area (45' x 40' x 6" thick). Metal building to have a thickened edge grade beam. Conventional building to have a 4' deep foundation wall and wall footings.

Metal Building: Sizes as shown with colored wall panels, standing seam roof, gutters and downspouts, 6" roof and 4" wall insulation and a decorative mansard over entrance area (90' long x 6" thick).

Conventional Building: Masonry block exterior walls (8" thick), steel roof support, metal roof deck, and roofing system. The roofing system includes 1" perlite, 4" EPS insulation, ballasted 45 mil EPDM roof system, prefinished metal coping/scuppers/downspouts and saddles between scuppers to direct water.

Interior Offices: (20' x 70') Stud wall with painted drywall both sides, joists and deck to create mezzanine, acoustical tile, carpet, solid core oak interior doors, hollow metal exterior doors, toilet partitions, standard toilet accessories and seven operable exterior windows. Stairs and handrails included at mezzanine.

Overhead Doors: Two insulated 8' x 9' at dock area, and one insulated 12' x 14' (with operator) at grade level entrance.

Walkdoors: Hollow metal at location shown on site plans.

Dock Equipment: Two 7' x 8' "E" capacity mechanical dock levelers, and two foam fit dock seals.

HVAC: High-efficiency gas-fired unit heaters in plant, and high-efficiency gas-fired forced air heating and cooling in office area.

Sprinklers: Per codes.

Plumbing: As required for bathrooms, 30 feet of sewer and water laterals.

Electrical: 400 amp electrical service, high-pressure sodium (HPS) 70 foot-candle lighting in plant, 2' x 4' T-8 energy-efficient fluorescent recessed lights in office, standard outlets, and HPS exterior lighting. Metal halide may be used in place of HPS. Machinery electrical drops are not included.



**Case Study III
WISCONSIN NATIONWIDE**

“City financing and state tax credits were key to our business development. Two Rivers quickly processed the paperwork, approved our site and delivered all the assistance we needed... and then some.”

– David DeRosier, Wisconsin Nationwide, Inc.



Floor Plan

This floor plan *(not to scale)* features the 22,500-square-foot spec building. When examining the estimates associated with the 11,250-square-foot or 33,750-square-foot facilities, remember that the price is based on enlarging the warehouse/plant area only, not the office space.

The Two Rivers development team would like to thank Ace Building Service Inc. for its assistance in compiling the information in this document.



**Case Study IV
EXPANSION OF
IRONWOOD PLASTICS**

“The spec building plans were the perfect size and location, but we needed some special amenities. Two Rivers made it easy by putting us in touch with all the right people.”

– Gordon Stephens, Ironwood Plastics



Upgraded Pre-engineered

Elevations (not to scale) based on 22,500-square-foot facility

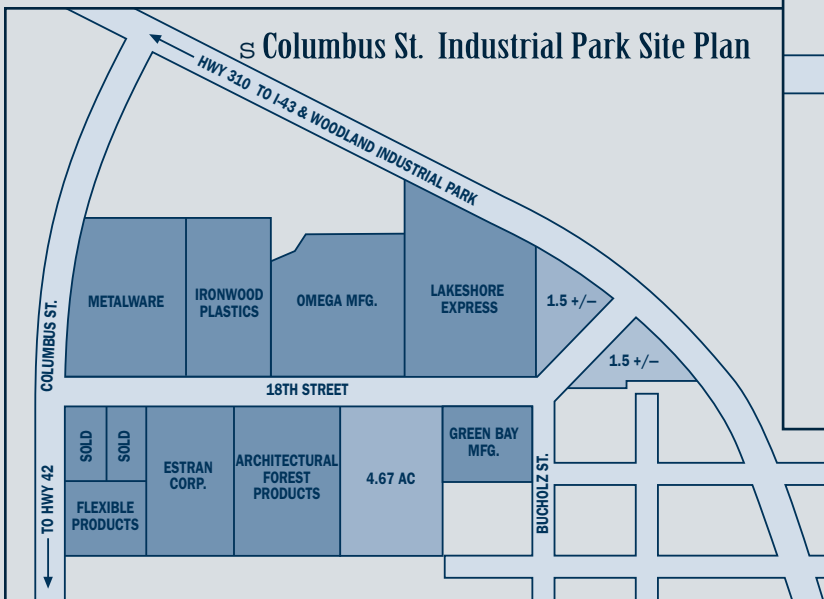
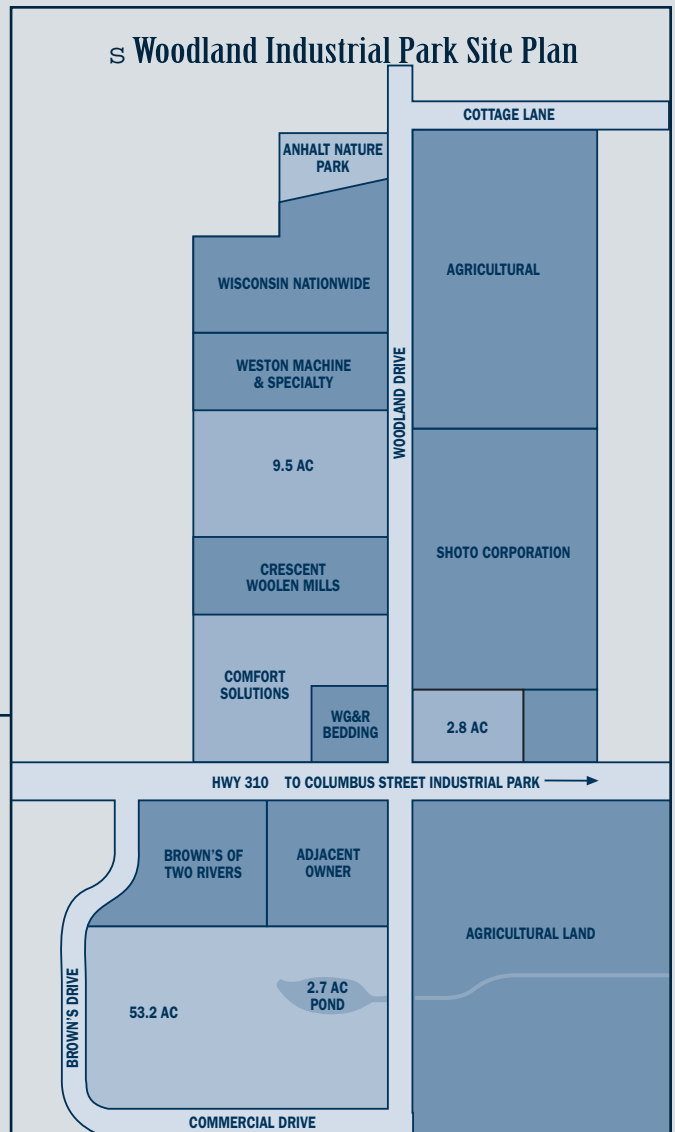
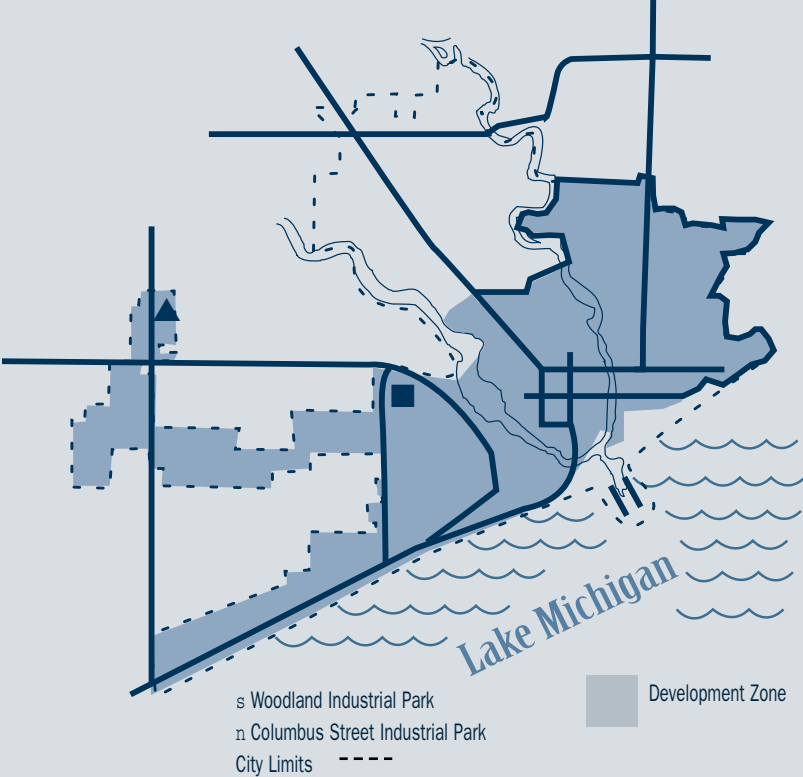
Building Costs

Keeping costs low is essential to your business success. Highly competitive building costs help you affordably locate or expand your business in the City of Two Rivers.

	Conventional Building Costs	Upgraded Pre-engineered Building Costs
11,250 sq. ft. facility: (150' x 75' x 20' eave)		
General Construction	\$369,889	\$276,963
Plumbing	19,191	19,191
HVAC	20,602	20,602
Electrical	20,319	20,319
Sprinklers	<u>17,215</u>	<u>17,215</u>
Total Project Cost	\$447,216	\$354,290
Price/sq. ft.	\$39.75	\$31.49
22,500 sq. ft. facility: (150' x 150' x 20' eave)		
General Construction	\$540,628	\$395,028
Plumbing	20,319	20,319
HVAC	29,728	29,751
Electrical	29,350	29,350
Sprinkler	<u>29,915</u>	<u>29,915</u>
Total Project Cost	\$647,231	\$501,654
Price/sq. ft.	\$28.77	\$22.30
33,750 sq. ft. facility: (150' x 225' x 20' eave)		
General Construction	\$684,770	\$504,811
Plumbing	19,430	19,430
HVAC	34,315	34,315
Electrical	36,193	36,193
Sprinklers	<u>42,614</u>	<u>42,614</u>
Total Project Cost	\$817,322	\$637,364
Price/sq. ft.	\$24.22	\$18.88

General construction includes: general conditions, fire protection, sitework, concrete, masonry, steel and metal, carpentry, doors and windows, and two truck-height docks.

* Prices were estimated as of 02/03 and may vary depending on conditions and other building requirements.



Two Rivers is one of several development zones in the Wisconsin Development Zone Program. The multi-million dollar state program is a tax benefit initiative designed to encourage private investment and improve both the quality and quantity of employment opportunities in Wisconsin. Expanding your business in the development zone can mean greater profits for you.

Two Rivers Development Zone

Available tax credits include:

- Targeted Jobs Tax Credit
- Environmental Remediation Credit

Financing Options

Along with the development zone tax incentives, the City of Two Rivers offers access to the following:

- Public finance programs.
- Industrial Revenue Bond financing.
- Tax Increment Financing districts.
- Industrial and Commercial Revolving Loan Program.
- Interest rates of 3 percent up to prime that finances 100 percent of acquisition costs with a two-to-one match of company to city investment.
- Wisconsin Public Service Corp. financing programs.
- Two Rivers Community Development Authority double tax exempt bonds.



For More Information Contact

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